



Public Notice

Applicant:
Drees Company

Date:
Published: April 28, 2004
Expires: May 27, 2004

**U.S. Army Corps
of Engineers**

In Reply Refer To:

Buffalo District CELRB-TD-R RE: 96-504-0002(4) Section: OH 404

**Application for Permit under Authority of
Section 404 of the Clean Water Act (33 U.S.C. 1344).**

Mr. Hank Steining, on behalf of Drees Company, 7300 Whipple Avenue, NW, North Canton, Ohio 44720, has applied for a Department of the Army permit to place fill into waters of the United States for the construction of the Ridgewood Falls Residential Development. The proposed project is located off of Montville Drive, north of Ridgewood Road, Montville Township, Medina County, Ohio.

Department of the Army authorization is required for the placement of fill into 0.35 acre of Federal wetland and 795 linear feet of stream channel.

Project History: A permit was affirmed for Glenmore Development Corporation for this project on December 2, 1996 (Nationwide Permit No. 26). This authorized 0.77 acre of wetland fills without mitigation. However, only 0.15 acre of wetland, including 364 linear feet of stream, were impacted as originally permitted. Later, on August 21, 2003 Nationwide Permit No. 12 was affirmed for Drees Company for the installation of a water main underneath two stream channels for the extension of Montville Drive.

The current proposal consists of the discharge of on-site fill materials into an additional 0.35 acre of wetland and 795 linear feet of stream (minimal degradation alternative). Accordingly, total cumulative aquatic resource impacts on this property would be 0.50 acre of wetland and 1159 linear feet of stream with the current development proposal. As mitigation for wetland impacts, the applicant has proposed the purchase of 0.7 credit at the North Coast Regional Mitigation Bank. As mitigation for the stream impacts, the applicant has proposed the on-site preservation of 1000 linear feet of stream corridor as well as the on-site relocation of 531 linear feet of intermittent stream in the north corner of the property.

The applicant's stated purpose for this project is to construct a residential development, including a gas station, parking area, road, and utilities.

Location and details of the above described work are shown on the attached maps and drawings.

Questions pertaining to the work described in this notice should be directed to Mark W. Scalabrino, who can be contacted by calling (716) 879-4327, or by e-mail at: mark.w.scalabrino@usace.army.mil

The following authorization(s) may be required for this project:

Water Quality Certification (or waiver thereof) from the Ohio Environmental Protection Agency.

Based on preliminary findings, there do not appear to be any properties listed in, or eligible for listing in, the National Register of Historic Places within the permit area as shown on Sheet 1 of 5. This notice constitutes initiation of consultation with the Ohio Historic Preservation Office (SHPO) per Section 106 of the National Historic Preservation Act. All currently available historic resource information pertaining to this proposed project has been provided to the SHPO. Additional information concerning historic properties should be submitted to the Corps before the end of the comment period of this notice. The Corps will forward that information to the SHPO for their review.

In addition, available evidence indicates that the work proposed may affect 2 species proposed or designated by the U.S. Department of the Interior as threatened or endangered, and it may affect the critical habitat of any such species. The property is within the range of the Indiana bat and eastern massasauga, Federally endangered and candidate species, respectively..

This notice is promulgated in accordance with Title 33, Code of Federal Regulations, parts 320-330. Any interested party desiring to comment on the work described herein may do so by submitting their comments, in writing, so that they are received no later than 4:30 pm on the expiration date of this notice.

Comments should be sent to the U. S. Army Corps of Engineers, 1776 Niagara Street, Buffalo, New York 14207-3199, and should be marked to the attention of Mark W. Scalabrino, or by e-mail at: mark.w.scalabrino@usace.army.mil. A lack of response will be interpreted as meaning that there is no objection to the work as proposed.

Comments submitted in response to this notice will be fully considered during the public interest review for this permit application. All written comments will be made a part of the administrative record which is available to the public under the Freedom of Information Act. The Administrative Record, or portions thereof may also be posted on a Corps of Engineers internet web site. Due to resource limitations, this office will normally not acknowledge the receipt of comments or respond to individual letters of comment.

Any individual may request a public hearing by submitting their written request, stating the specific reasons for holding a hearing, in the same manner and time period as other comments.

Public hearings for the purposes of the Corps permit program will be held when the District Commander determines he can obtain additional information, not available in written comments, that will aid him in the decision making process for this application. A Corps hearing is not a source of information for the general public, nor a forum for the resolution of issues or conflicting points of view (witnesses are not sworn and cross examination is prohibited). Hearings will not be held to obtain information on issues unrelated to the work requiring a permit, such as property ownership, neighbor disputes, or the behavior or actions of the public or applicant on upland property not regulated by the Department of the Army. Information obtained from a public hearing is given no greater weight than that obtained from written comments. Therefore, you should not fail to make timely written comments because a hearing might be held.

The decision to approve or deny this permit request will be based on an evaluation of the probable impact, including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefits which reasonably may be expected to accrue from the proposal must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered including the cumulative effects thereof; among these are conservation, economics, aesthetics, general environmental concerns, wetlands, historic properties, fish and wildlife values, flood hazards, flood plain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production, mineral needs, considerations of property ownership, and in general, the needs and welfare of the people.

The Corps of Engineers is soliciting comments from the public; Federal, state and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments

received will be considered by the Corps of Engineers to determine whether to issue, modify, condition or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

SIGNED

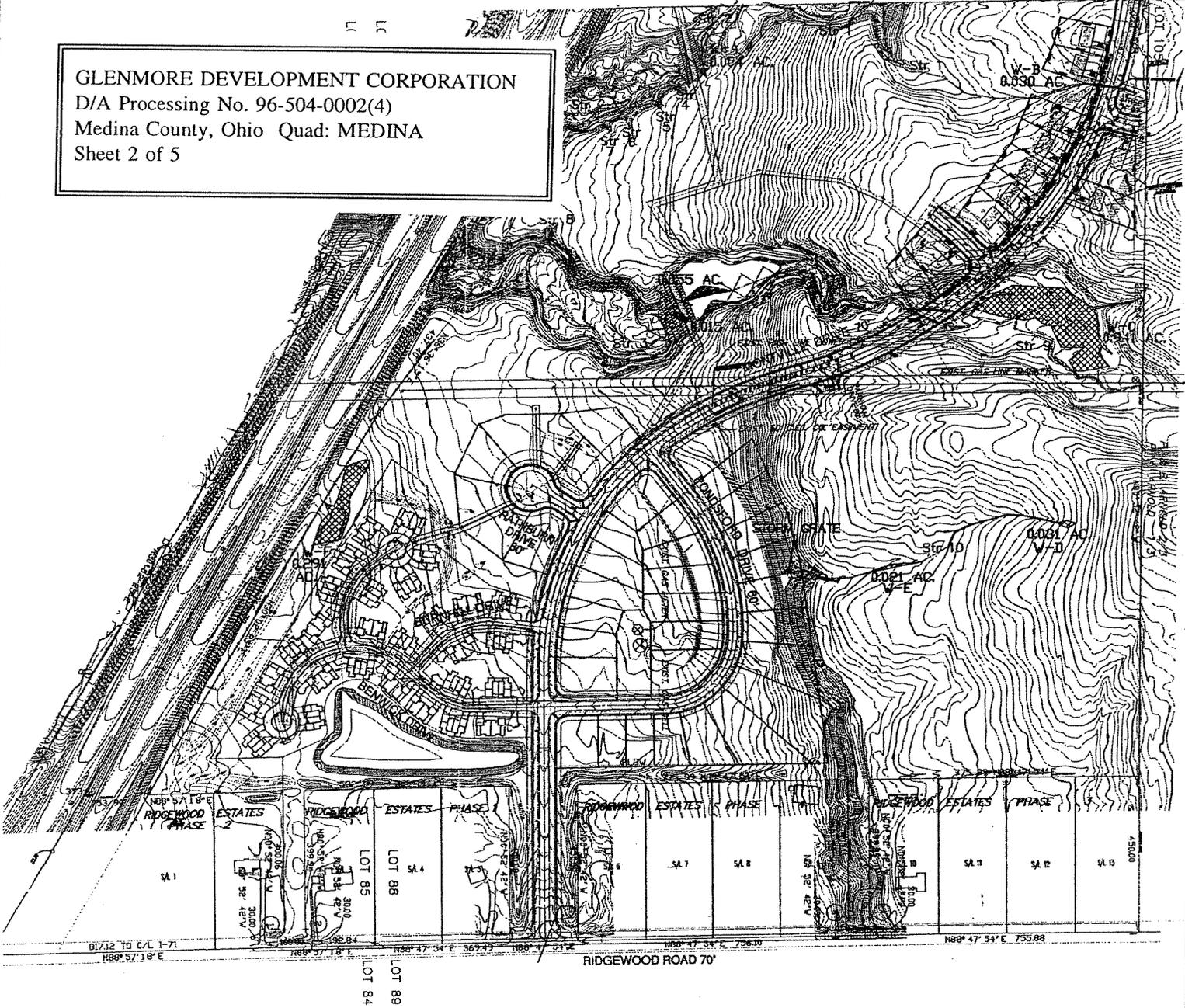
Philip D. Frapwell
Acting Chief, Regulatory Branch

NOTICE TO POSTMASTER: It is requested that this notice be posted continuously and conspicuously for 30 days from the date of issuance.

EXISTING SITE CONDITIONS



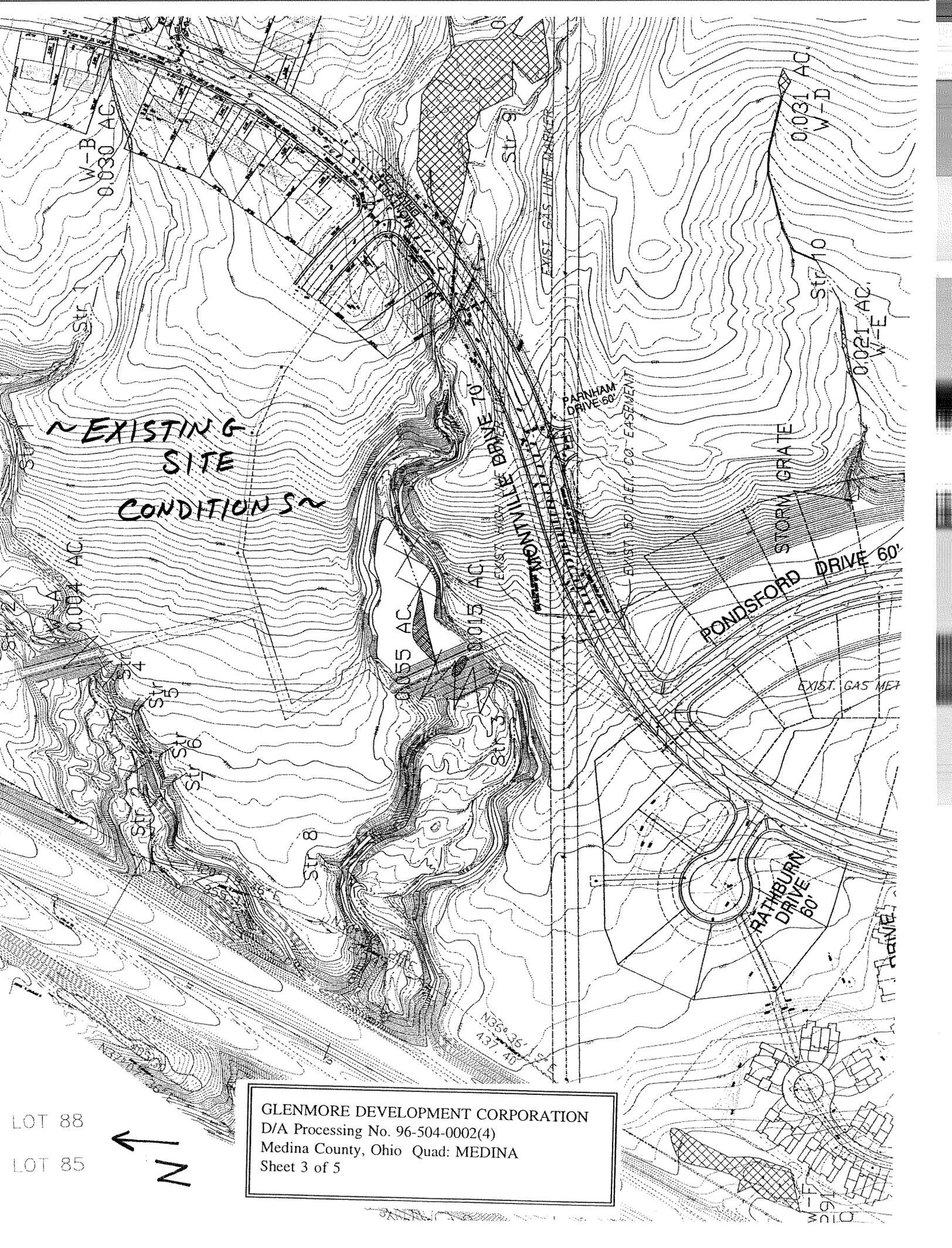
GLENMORE DEVELOPMENT CORPORATION
 D/A Processing No. 96-504-0002(4)
 Medina County, Ohio Quad: MEDINA
 Sheet 2 of 5



THESE DELINEATED AREAS INCLUDE EXISTING FILLED AREAS

-  WETLAND AREA = 1.388 ACRES
-  STREAM AREA = 0.590 ACRES
5176.15 FEET
-  EXISTING WETLAND FILL AREA = 0.055 ACRES
-  EXISTING STREAM FILL = 229.53 FEET
0.049 ACRES
-  EXISTING EXCAVATED AREA = 135.87 FEET
0.031 ACRES

CLIENT DREES HOMES	
CLIENT/PROJECT RIDGEWOOD FALLS	
TITLE WETLAND DELINEATION & EXISTING FILL	
SCALE 1" = 100'	DATE 7-03
PREPARED BY FLICKINGER WETLAND SERVICES GROUP, INC.	
 554 WHITE POND GROUP, SUITE D FAIRLAWN, OHIO 44320 (330) 865-0688	JOB NO. 2303-MCH1 DWG. FILE RidgeFalls7-03 DWT. NO. 1 of 1

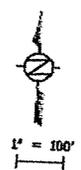


~ EXISTING SITE CONDITIONS ~

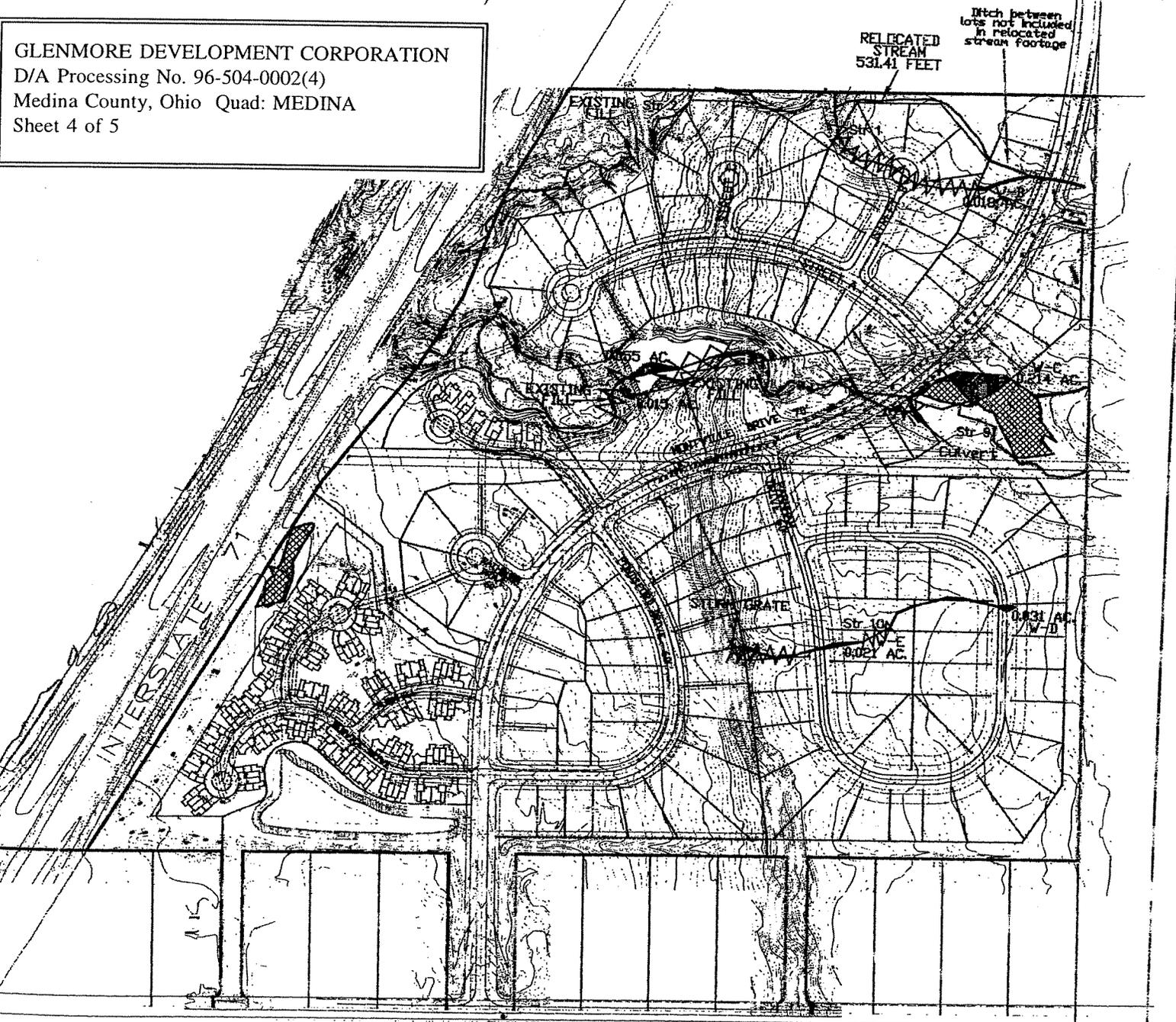
GLENMORE DEVELOPMENT CORPORATION
 D/A Processing No. 96-504-0002(4)
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 Sheet 3 of 5

LOT 88
 LOT 85
 N ↑

~ PROPOSED SITE
CONDITIONS ~



GLENMORE DEVELOPMENT CORPORATION
D/A Processing No. 96-504-0002(4)
Medina County, Ohio Quad: MEDINA
Sheet 4 of 5



MINIMAL DEGRADATION ALTERNATIVE
86 ADDITIONAL LOTS

- EXISTING WETLAND FILL AREA = 0.070 ACRES
- EXISTING STREAM FILL = 229.52 FEET
0.049 ACRES
- EXISTING EXCAVATED AREA = 135.87 FEET
0.031 ACRES
- ADDITIONAL WETLAND FILL AREA = 0.284 ACRES
- ADDITIONAL STREAM FILL = 795.35 FEET
0.064 ACRES
- RESTORED STREAM = 531.41 FEET

DREES HOMES	
RIDGEWOOD FALLS	
MINIMAL DEGRADATION	
1" = 100'	12-03
FLICKINGER WETLAND SERVICES GROUP, INC.	
554 WHITE POND GROUP, SUITE D FARM ROAD 1000, CANTON, OHIO 44705	2363-HCN 3/26/04 12/12-03

~ PROPOSED SITE CONDITIONS ~

GLENMORE DEVELOPMENT CORPORATION
 D/A Processing No. 96-504-0002(4)
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 Sheet 5 of 5



NEW IMPACTS

Ditch between lots not included in relocated stream footage

RELOCATED STREAM 531.41 FEET

EXISTING Str 2 FILL

Str 1

EXISTING FILL 0.055 AC.

EXISTING FILL 0.015 AC.

V-C 0.214 AC.

Str 9 Culvert

STORM GRATE

Str 10a W-E 0.021 AC.

0.031 AC. W-D

INTERSTATE 71

MONTVILLE DRIVE 70'

RIDGEWOOD ROAD 70'

PROPOSED NEW IMPACTS

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DREES HOMES	
RIDGEWOOD FALLS	
MINIMAL DEGRADATION	
1" = 100'	12-03
FLICKINGER WETLAND SERVICES GROUP, INC.	
554 WHITE POND GROUP, CLUTE, O	2303-MEN
	RidgeFall